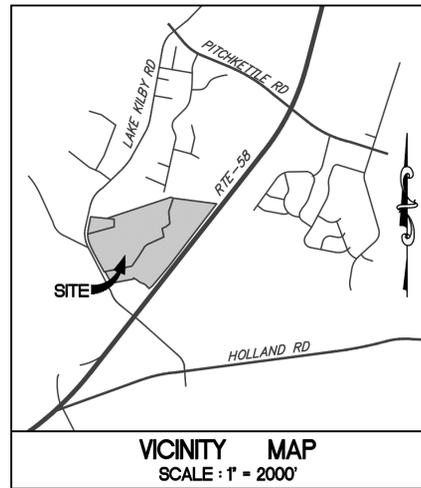


# PRELIMINARY SUBDIVISION PLAN FOR TILLMAN RUN TAX MAP #'S 34\*26, 33\*48, 33\*48A, AND 33\*49 SUFFOLK, VIRGINIA



LEGEND		
EXISTING	PROPOSED	
		ASPHALT
		BUILDINGS
		CONCRETE
		PAVEMENT PATCH
		CATCH BASINS, CURB INLETS
		CL DITCH/SWALE
		COMMUNICATION BOX
		CONSTRUCTION ENTRANCE
		CONTOURS
		CURB
		CURB AND GUTTER
		DEMOLITION NOTE REFERENCE (100 SERIES)
		DROP INLETS
		FENCE
		FIRE HYDRANT
		FLAGRED END SECTION W/ RIP-RAP
		FLOW LINE
		GAS LINE
		GAS VALVE
		GRAVEL
		INLET PROTECTION
		LAYOUT NOTE REFERENCE (300 SERIES)
		MG14.50
		MONUMENT FOUND
		MONUMENT SET
		OVERHEAD LINE
		P = PAVEMENT GRADE
		PIN FOUND
		PIN SET
		POWER POLE
		REMOVE AND DISPOSE
		RL = RIDGELINE
		SANITARY REFERENCE
		SANITARY SEWER (SEE SCHEDULE FOR LENGTH, SIZE, AND SLOPE)
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE (SEE SCHEDULE)
		SIGN
		SILT FENCE
		SPOT ELEVATIONS
		STORM SEWER REFERENCE
		STORM SEWER (SEE SCHEDULE FOR LENGTH, SIZE, AND SLOPE)
		STORM SEWER MANHOLE (SEE SCHEDULE)
		POWER POLE WITH LIGHT
		TELEPHONE PEDESTAL
		TOE OF SLOPE
		TOP OF BANK
		TOP OF CURB GRADE
		TOP OF WALK GRADE
		TOP OF WALL GRADE
		TREE
		TREE PROTECTION
		UTILITY NOTE REFERENCE (400 SERIES)
		WATER LINE (SEE PLANS FOR SIZE)
		WATER METER
		WATER VALVE

**ABBREVIATIONS:**

EX. = EXISTING	TYP = TYPICAL
PROP. = PROPOSED	INV = INVERT
SAN = SANITARY	STD. = STANDARD
MH = MANHOLE	CDI = CURB DROP INLET
SCO = SANITARY CLEANOUT	BSL = BUILDING SETBACK LINE

**LANDSCAPE REQUIREMENTS PER UDO SECTION 31-411 (e)(10)B**

- One large street tree is required along the subdivision streets spaced a maximum of 60 feet on center along roadways which do not have residential lots. Each individual residential lot within the "Cluster" development will plant one street tree per lot. The Planning Director or his designee can administratively approve variances to this plan in order to meet lot layout, right-of-way, or driveway locations matters. Street trees may be either a London Plane Tree, Red Oak, Willow Oak, Zelkova, or Red Maple, and shall be a minimum 2-inch in caliper when planted. The planting area shall be either in the right-of-way or on individual lots within ten feet of the front property line.
- The perimeter of the Cluster development shall contain a minimum ten-foot landscape buffer easement on residential lots within the Cluster development where they abut adjacent property with a residential zoning classification unless they are adjacent to on-site open space areas or adjacent undevelopable land.

**DATUM:**

- HORIZONTAL DATUM IS BASED ON VIRGINIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE (NAD 83 / 1993 HARM).
- VERTICAL DATUM IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND IS EXPRESSED IN FEET.

**FLOOD PLAIN NOTE:**

THE PROPERTY SHOWN ON THIS SURVEY APPEARS TO FALL IN: ZONE "X", WITH A BASE FLOOD ELEV OF XX BASED UPON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 5101560210D, EFFECTIVE DATE 11-16-2011 AND NUMBER 5101560230E, EFFECTIVE DATE 08-03-2015.

**SIGHT VISIBILITY TRIANGLE NOTE:**

SIGHT VISIBILITY TRIANGLES/EASEMENTS AS SHOWN ON SHEET 2 ARE BASED ON THE SIGHT TRIANGLE DIAGRAM AND SIGHT TRIANGLE TABLE INCLUDED IN APPENDIX C OF THE CITY OF SUFFOLK UNIFIED DEVELOPMENT ORDINANCE. ALL PROPOSED STREETS ARE CLASSIFIED AS "LOCAL". LAKE COHOON ROAD AND LAKE KILBY ROAD ARE CLASSIFIED AS "MINOR COLLECTOR" STREETS.

FOR INTERSECTIONS WITHIN THE PROPOSED DEVELOPMENT, EACH STREET (ROAD TYPE "A" AND "B") IS "LOCAL" AND THE "X" AND "Y" DIMENSIONS ARE BOTH 20 FEET.

FOR THE INTERSECTIONS AT LAKE COHOON ROAD AND LAKE KILBY ROAD, (ROAD TYPE "A") IS "MINOR COLLECTOR" AND THE PROPOSED STREETS ARE "LOCAL". THE "X" DIMENSION IS 30 FEET AND THE "Y" DIMENSION IS 20 FEET.

**NOTES:**

- THIS PROPERTY IS LOCATED WITHIN THE CHESAPEAKE BAY PRESERVATION AREA OVERLAY DISTRICT AND IS DESIGNATED AS A RESOURCE MANAGEMENT AREA (RMA).
- THE WETLANDS WERE DELINEATED BY MSA (REVISED WETLAND DELINEATION EXHIBIT DATED MARCH 16, 2022) AND THE DELINEATION WAS APPROVED BY THE US ARMY CORPS OF ENGINEERS ON MARCH 16, 2022.
- THE SITE WILL BE SERVED BY PUBLIC WATER AND SEWER.
- T.M. 34\*26, 33\*48, 33\*48A & 33\*49 ARE SUBJECT TO CONDITIONAL REZONING REQUEST RZN2021-018, BY APPROVING ORDINANCE NO. 23-0-107 (SEE PROFFERS BELOW)
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EQUIPMENT, MATERIAL AND GENERAL CONSTRUCTION DEBRIS FROM THE SUBDIVISION AND FROM ANY LOT, STREET, PUBLIC WAY OR PROPERTY THEREIN OR ADJACENT THERETO. DUMPING OF SUCH DEBRIS INTO SEWERS, ONTO ADJACENT PROPERTY OR ONTO OTHER LAND IN THE CITY IS PROHIBITED.

**PROFFERED CONDITIONS**

- The students generated by this development will be assigned to Elephant Fork Elementary school, Kings Fork Middle School, and Kings Fork High School. The calculated impact of students generated, and value of cash proffer contribution shall be based upon the current enrollment and committed development as of the last day of the month of the date this application is deemed complete and acceptable by the City of Suffolk. The proposed rezoning will generate an estimated net impact of 31 additional elementary school students, 17 additional middle school students, and 23 additional high school students. The City of Suffolk Capital Improvements Program (FY 2022-2031) projects will allow cash proffers to be paid to advance capacity at the elementary, middle, and school high school levels. The property owner shall make a cash contribution to the City of Suffolk to advance capacity at the elementary school, middle school, and high school levels. Based upon the projected capacity (800 students) and cost (\$32,542,000.00), the cost to advance capacity at the elementary school level is \$40,677.50 per student. At the middle school level, the cost to advance capacity is \$42,328.00 per student. At the high school level, based on the projected capacity (2000 students) and cost (\$59,360,000.00), the cost to advance capacity is \$29,680 per student. This translates into a cash contribution of \$6,181.39 per housing unit, \$3,527.33 per housing unit, and \$3,346.27 per housing unit to advance capacity at the elementary, middle, and high school levels, respectively. The contribution shall be paid prior to the issuance of a Certificate of Occupancy.

- No more than 204 single family detached units shall be constructed with this project.
- All single family detached units shall have a minimum square footage of heated living space of 1850 sq. ft.
- All units shall have a crawl space or raised/elevated slab foundation.

- Materials for the front, sides and rear of the homes shall be brick veneer, stone, cement-based siding, high quality vinyl siding, cement-fiber board siding (i.e., lp "smartside" or approved equal), vinyl siding be a minimum of 0.44-inch thick and may be overlapped or beaded siding.
- Roofing shall be copper, metal or fiberglass architectural style shingles which must carry a minimum 25-year warranty.
- The property owner shall make road improvements as outlined in the approved traffic impact study, prepared by Charles Smith, P.E., PTOE EPR, updated March 2023. All road improvements proffered shall be completed or bonded before the first certificate of occupancy.

**APPLICANT**

LAKE KILBY PROPERTIES, LLC.  
5807 PORTSMOUTH BLVD.  
PORTSMOUTH, VA 23701.  
PHONE: 757-675-6535  
CONTACT: MATT HOWARD (C/O BOB ARNETTE)  
EMAIL: MATTHOWARD@COASTALVA.ORG

**ENGINEER**

CIVIL ENGINEERING & CONSTRUCTION SERVICES, LLC. (CECS)  
5267 GREENWICH RD, SUITE 300  
VIRGINIA BEACH, VA 23462  
PHONE: 757-777-9211  
CONTACT: ISSAM BARAKI  
EMAIL: IBARAKI@CECSVA.NET

**SURVEYOR**

TIM FALLON LAND SURVEYING, PLLC  
15139 CARROLLTON BLVD,  
SUITE C, P.O. BOX 189  
CARROLLTON, VIRGINIA, 23314  
PHONE: 757-621-8795  
CONTACT: TIMOTHY FALLON  
EMAIL: TFALLON@TFSURVEYING.COM

Sheet Number	Sheet Title
1	COVER SHEET
2	OVERALL LAYOUT PLAN
3	LOT DIMENSIONS AND AREA TABLES
4	ROADWAY IMPROVEMENTS
5	PHASING PLAN

ULTIMATE DEVELOPMENT (OPEN SPACE CALCULATIONS)	
TOTAL AREA = 3,815,059 S.F. (87,582 AC.)	
AREA OF CONVENTIONAL DEVELOPMENT = 2,183,269 S.F. (50.121 AC.)	
OPEN SPACE REQUIRED = 9% = (0.09)(2,183,269 S.F.) = 196,494 S.F.	
OPEN SPACE PROVIDED = 653,374 S.F.	
ACTIVE OPEN SPACE REQUIRED = 70% = (0.70)(196,494 S.F.) = 137,546 S.F.	
ACTIVE OPEN SPACE PROVIDED = 249,262 S.F.	
AREA OF CLUSTER DEVELOPMENT = 1,631,790 S.F. (37.461 AC.)	
OPEN SPACE REQUIRED = 45% = (0.45)(1,631,790 S.F.) = 734,306 S.F.	
OPEN SPACE PROVIDED = 897,216 S.F.	
ACTIVE OPEN SPACE REQUIRED = 5% = (0.05)(734,306 S.F.) = 36,715 S.F.	
ACTIVE OPEN SPACE PROVIDED = 191,847 S.F.	

ACCT.# 251420000-T.M.# 33\*47  
PROPERTY OWNER (NOW OR FORMERLY):  
WGC DEVELOPMENT, LLC.  
13000 S. TRYON ST. PMB 277, STE F,  
CHARLOTTE, NORTH CAROLINA ZIP 28278

SOURCE OF TITLE AND LAST PLACE OF RECORD:  
INST #240004716  
GRANTOR: FLOJO PROPERTIES, LLC. A VIRGINIA LIMITED LIABILITY COMPANY  
GRANTEE: WGC DEVELOPMENT, LLC. A VIRGINIA LIMITED LIABILITY COMPANY.  
DATE OF CONVEYANCE: MAY 8, 2024.

ACCT.# 250732000-T.M.# 34\*26  
PROPERTY OWNER (NOW OR FORMERLY):  
LAKE KILBY PROPERTIES, LLC.  
5807 PORTSMOUTH BLVD.  
PORTSMOUTH, VIRGINIA ZIP 23701.

SOURCE OF TITLE AND LAST PLACE OF RECORD:  
INST #220012468  
GRANTOR: HARVEY J. STERNAT, MARY ANN STERNAT, DIANE VAN ABEL  
(FORMERLY KNOWN AS DIANE STERNAT) AND BENJAMIN J. BRESELOW.  
GRANTEE: LAKE KILBY PROPERTIES, LLC.  
DATE OF CONVEYANCE: AUGUST 17, 2022.

ACCT.# 251421000-T.M.# 33\*48,  
ACCT.# 251419600-T.M.# 33\*48A &  
ACCT.# 251419400-T.M.# 33\*49  
PROPERTY OWNER (NOW OR FORMERLY):  
WGC DEVELOPMENT, LLC.  
13000 S. TRYON ST. PMB 277, STE F,  
CHARLOTTE, NORTH CAROLINA ZIP 28278

SOURCE OF TITLE AND LAST PLACE OF RECORD:  
INST #240004716  
GRANTOR: FLOJO PROPERTIES, LLC. A VIRGINIA LIMITED LIABILITY COMPANY  
GRANTEE: WGC DEVELOPMENT, LLC. A VIRGINIA LIMITED LIABILITY COMPANY.  
DATE OF CONVEYANCE: MAY 8, 2024.

**SITE DATA**

TAX ACCT No.	TAX MAP #
250732000	34*26
251421000	33*48
251419600	33*48A
251419400	33*49

TOTAL AREA: 87,582 AC.  
ADDRESS: 2056 LAKE COHOON RD, SUFFOLK, VA 23434.  
TOTAL AREA IN LANDSCAPING, BUFFERS, OR OPEN SPACE: 1,550,243 S.F. (35.589 ACRES)  
ACTIVE OPEN SPACE = 441,109 S.F. (10.126 ACRES)  
PASSIVE OPEN SPACE = 1,109,134 S.F. (25.462 ACRES)  
REFER TO SHEET 5 (PHASING PLAN) FOR OPEN SPACE AREAS AND CALCULATIONS  
ZONE: RM (CONDITIONAL REZONING APPLICATION RZN 2021-018 WITH PROFFERS & ORDINANCE # 23-0-107  
SITE IS LOCATED IN A SPECIAL CORRIDOR OVERLAY DISTRICT (SCOD). ROUTE 58 IS SCOD.

PROPOSED USE: 204 SINGLE FAMILY RESIDENTIAL LOTS.

CONNECTIVITY RATIO: 1.56

**SUBDIVISION TYPE: CONVENTIONAL AND CLUSTER**

AVERAGE LOT SIZE:  
CONVENTIONAL 10,000 SQ.FT.  
CLUSTER 5,865 SQ.FT.

MINIMUM LOT WIDTH AND FRONTAGE REQUIREMENTS:  
CONVENTIONAL (RM), MINIMUM LOT WIDTH = 80', MINIMUM LOT FRONTAGE = 60'  
CLUSTER, (RU) STANDARDS, MINIMUM LOT WIDTH = 50', MINIMUM LOT FRONTAGE = 15'

RM ZONING MINIMUM SETBACKS:(CONVENTIONAL)  
FRONT: 25' (MINIMUM)  
REAR: 25' (MINIMUM)  
SIDE: 10' (MINIMUM)

RM ZONING MINIMUM SETBACKS:(CLUSTER)  
FRONT: 15' (MINIMUM)  
REAR: NONE (25' PER RM ZONE)  
SIDE: 5' (MINIMUM)

**ADJACENT ZONING / USE:**

NORTH: RL(SINGLE FAMILY), CP (VACANT COMMERCIAL)  
SOUTH: RE (SINGLE FAMILY), M2(INDUSTRIAL MANUFACTURING)  
EAST: ROUTE 58  
WEST: RE (SINGLE FAMILY)

**SITE AREAS / DENSITY CALCULATIONS:**

TOTAL SITE AREA = 3,815,059 S.F. (87,582 ACRES)  
EXISTING CRITICAL AREAS (WETLANDS) = 82,819 S.F. (1.901 ACRES)  
CRITICAL AREAS (WETLANDS) TO REMAIN UNDISTURBED = 55,320 S.F. (1.270 ACRES)  
PROPOSED RIGHT-OF-WAY DEDICATION ALONG LAKE COHOON ROAD AND LAKE KILBY ROAD = 33,515 S.F. (0.769 ACRES)

TOTAL DWELLING UNIT CALCULATION  
D = P X (A-C-R)  
D = TOTAL PERMITTED DWELLING UNITS  
P = PERMITTED DENSITY = 4.4 UNITS PER ACRE (RM ZONING)  
A = TOTAL SITE AREA (ACRES)  
C = CRITICAL AREAS  
R = ROAD AND STREETS RIGHT-OF-WAY  
D = (4.4 UNITS/ACRE)(87,582 - 1.270 - 0.769 ACRES) = 376 UNITS

MAXIMUM NUMBER OF DWELLING UNITS ALLOWED AS PROFFERED = 204  
TOTAL NUMBER OF DWELLING UNITS FOR THIS DEVELOPMENT = 204

**DIRECTOR OF PLANNING**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**CITY SIGNATURE BLOCK**

**APPROVED**  
**PSB2024-00001**  
06/11/2025 8:09:16 AM

No.	Date	Description
1	04-15-2025	REVISED PER CITY COMMENTS, LETTER DATED 03-31-2025
2	02-13-2025	REVISED PER CITY COMMENTS, LETTER DATED 12-18-2024

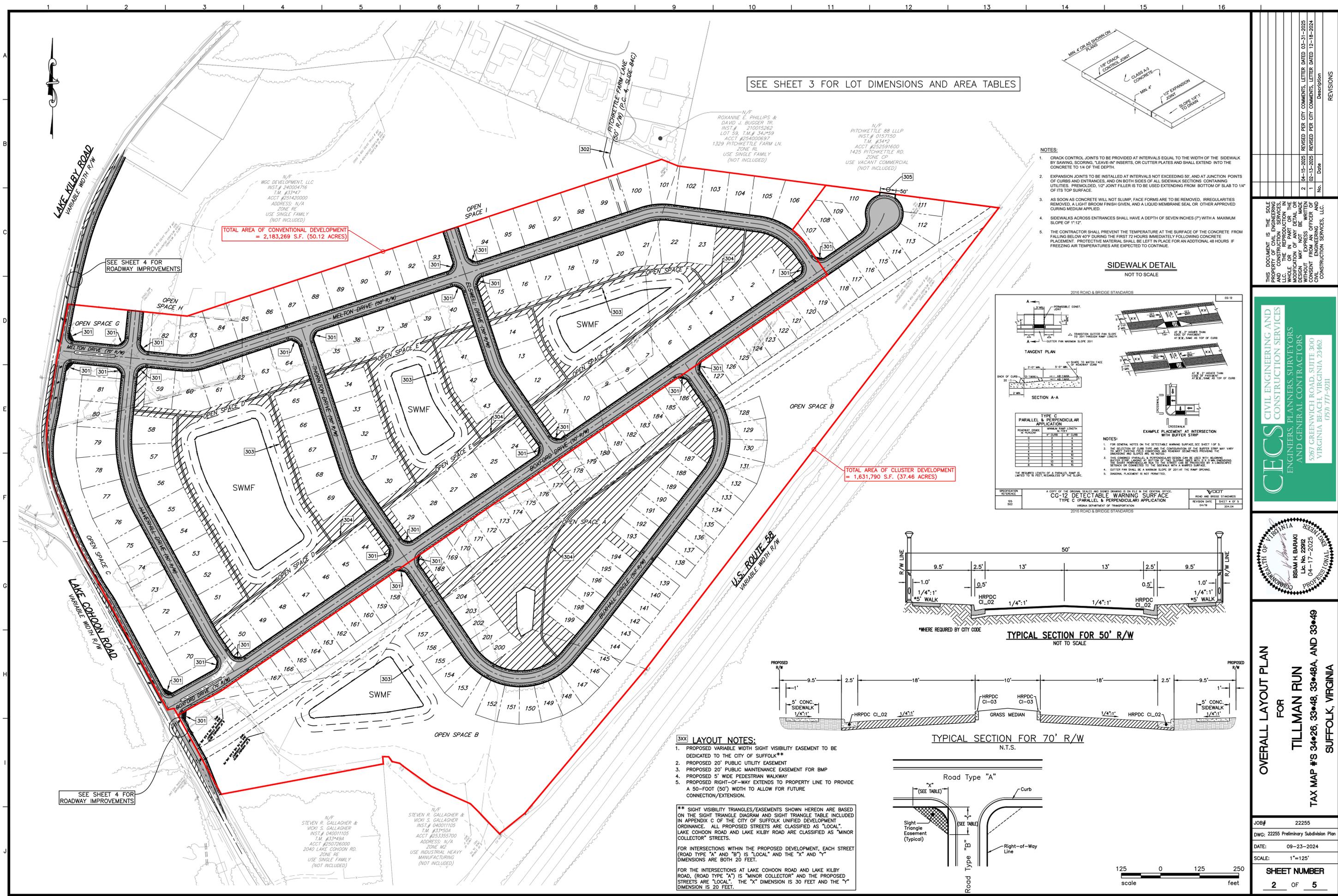
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**CECS**  
CIVIL ENGINEERING AND CONSTRUCTION SERVICES  
ENGINEERS, PLANNERS, SURVEYORS AND GENERAL CONTRACTORS  
5267 GREENWICH ROAD, SUITE 300  
VIRGINIA BEACH, VIRGINIA 23462  
(757) 777-9211



COVER SHEET FOR  
**TILLMAN RUN**  
TAX MAP #'S 34\*26, 33\*48, 33\*48A, AND 33\*49  
SUFFOLK, VIRGINIA

JOB#	22255
DWG:	22255 Preliminary Subdivision Plan.dwg
DATE:	09-23-2024
SCALE:	-
SHEET NUMBER	1 OF 5



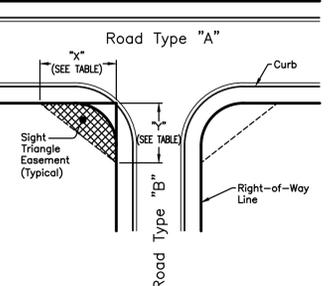
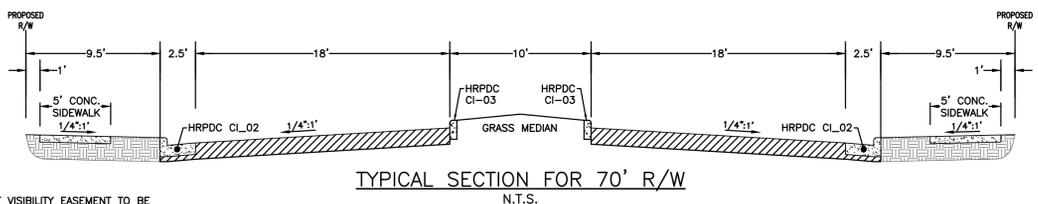
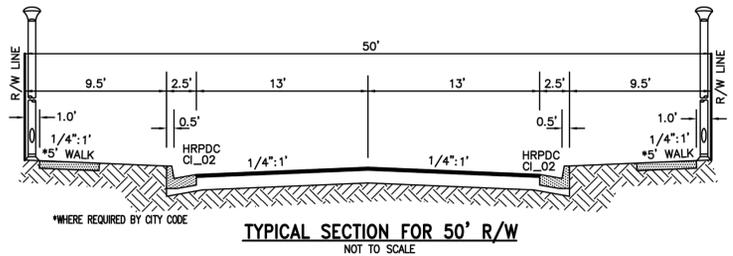
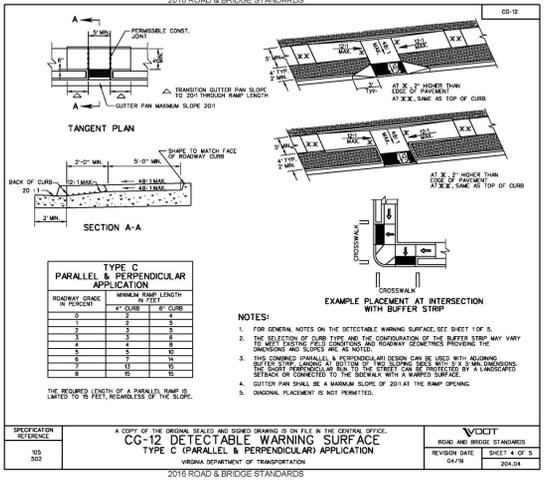
SEE SHEET 3 FOR LOT DIMENSIONS AND AREA TABLES

TOTAL AREA OF CONVENTIONAL DEVELOPMENT = 2,183,269 S.F. (50.12 ACRES)

TOTAL AREA OF CLUSTER DEVELOPMENT = 1,631,790 S.F. (37.46 ACRES)

- NOTES:**
- CRACK CONTROL JOINTS TO BE PROVIDED AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK BY SAWING, SCORING, "LEAVE-IN" INSERTS, OR GUTTER PLATES AND SHALL EXTEND INTO THE CONCRETE TO 1/4 OF THE DEPTH.
  - EXPANSION JOINTS TO BE INSTALLED AT INTERVALS NOT EXCEEDING 50', AND AT JUNCTION POINTS OF CURBS AND ENTRANCES, AND ON BOTH SIDES OF ALL SIDEWALK SECTIONS CONTAINING UTILITIES. PREMOULDED, 1/2" JOINT FILLER IS TO BE USED EXTENDING FROM BOTTOM OF SLAB TO 1/4" OF ITS TOP SURFACE.
  - AS SOON AS CONCRETE WILL NOT SLUMP, FACE FORMS ARE TO BE REMOVED, IRREGULARITIES REMOVED, A LIGHT BROOM FINISH GIVEN, AND A LIQUID MEMBRANE SEAL OR OTHER APPROVED CURING MEDIUM APPLIED.
  - SIDEWALKS ACROSS ENTRANCES SHALL HAVE A DEPTH OF SEVEN INCHES (7") WITH A MAXIMUM SLOPE OF 1:12".
  - THE CONTRACTOR SHALL PREVENT THE TEMPERATURE AT THE SURFACE OF THE CONCRETE FROM FALLING BELOW 40°F DURING THE FIRST 72 HOURS IMMEDIATELY FOLLOWING CONCRETE PLACEMENT. PROTECTIVE MATERIAL SHALL BE LEFT IN PLACE FOR AN ADDITIONAL 48 HOURS IF FREEZING AIR TEMPERATURES ARE EXPECTED TO CONTINUE.

**SIDEWALK DETAIL**  
NOT TO SCALE



- LAYOUT NOTES:**
- PROPOSED VARIABLE WIDTH SIGHT VISIBILITY EASEMENT TO BE DEDICATED TO THE CITY OF SUFFOLK\*\*
  - PROPOSED 20' PUBLIC UTILITY EASEMENT
  - PROPOSED 20' PUBLIC MAINTENANCE EASEMENT FOR BMP
  - PROPOSED 5' WIDE PEDESTRIAN WALKWAY
  - PROPOSED RIGHT-OF-WAY EXTENDS TO PROPERTY LINE TO PROVIDE A 50-FOOT (50') WIDTH TO ALLOW FOR FUTURE CONNECTION/EXTENSION.
- \*\* SIGHT VISIBILITY TRIANGLES/EASEMENTS SHOWN HEREON ARE BASED ON THE SIGHT TRIANGLE DIAGRAM AND SIGHT TRIANGLE TABLE INCLUDED IN APPENDIX C OF THE CITY OF SUFFOLK UNIFIED DEVELOPMENT ORDINANCE. ALL PROPOSED STREETS ARE CLASSIFIED AS "LOCAL". LAKE COHOON ROAD AND LAKE KILBY ROAD ARE CLASSIFIED AS "MINOR COLLECTOR" STREETS.
- FOR INTERSECTIONS WITHIN THE PROPOSED DEVELOPMENT, EACH STREET (ROAD TYPE "A" AND "B") IS "LOCAL" AND THE "X" AND "Y" DIMENSIONS ARE BOTH 20 FEET.
- FOR THE INTERSECTIONS AT LAKE COHOON ROAD AND LAKE KILBY ROAD, (ROAD TYPE "A") IS "MINOR COLLECTOR" AND THE PROPOSED STREETS ARE "LOCAL". THE "X" DIMENSION IS 30 FEET AND THE "Y" DIMENSION IS 20 FEET.



**REVISIONS**

No.	Date	Description
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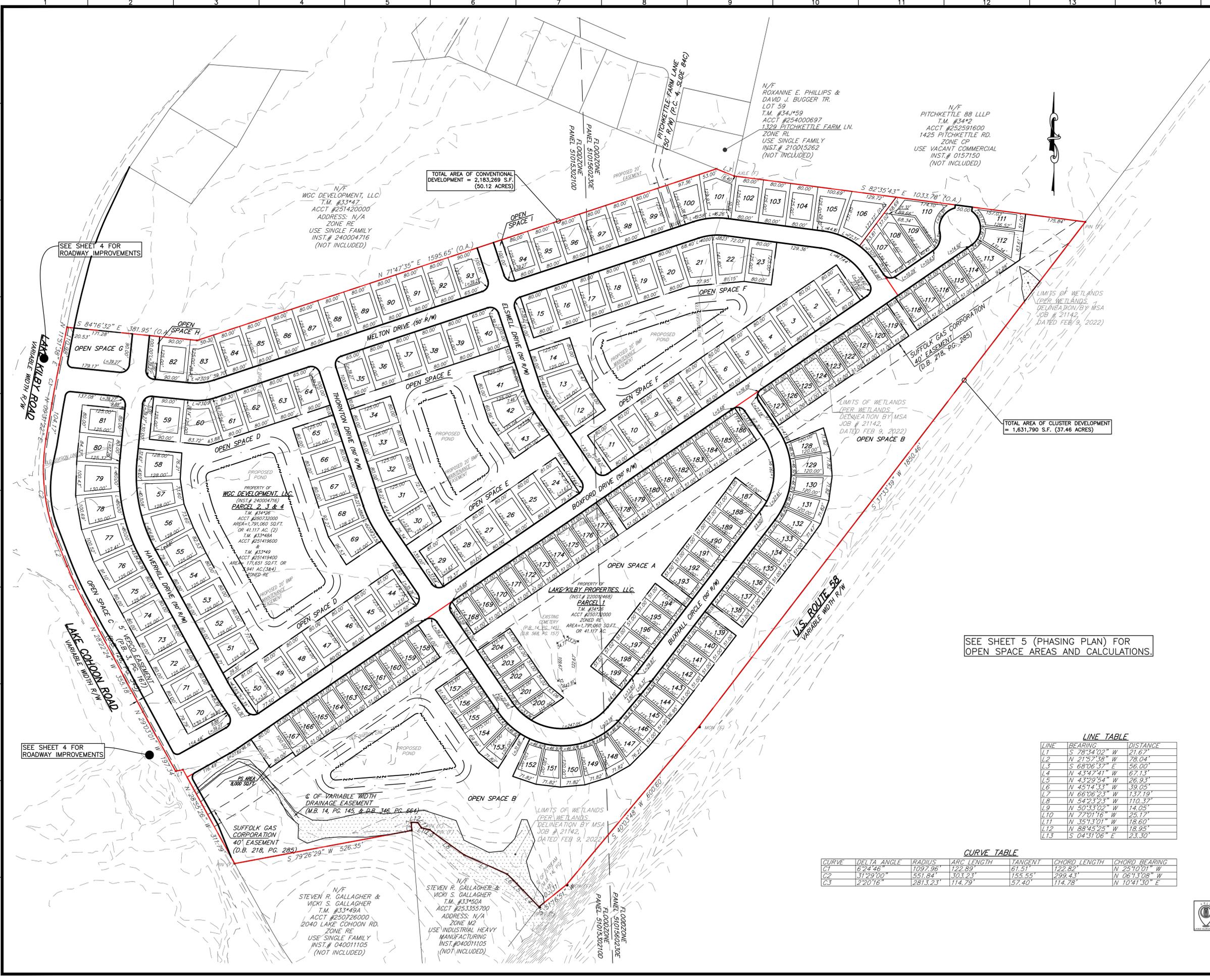
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VIRGINIA BEACH, VIRGINIA 23462  
(757) 717-9211

**PROFESSIONAL SEAL**  
COMMONWEALTH OF VIRGINIA  
BSAM H. BARAKI  
Lic. No. 22912  
04-17-2025

**OVERALL LAYOUT PLAN FOR TILLMAN RUN**  
TAX MAP #S 34\*26, 33\*48, 33\*48A, AND 33\*49  
SUFFOLK, VIRGINIA

JOB# 22255  
DWG: 22255 Preliminary Subdivision Plan  
DATE: 09-23-2024  
SCALE: 1"=125'  
SHEET NUMBER 2 OF 5



LOT AREA TABLE CONVENTIONAL		LOT AREA TABLE CLUSTER	
Area	Sq. Feet	Area	Sq. Feet
1	10000	107	7644
2	10000	108	8371
3	10000	109	6803
4	10000	110	12066
5	10000	111	7939
6	10000	112	8676
7	10000	113	7742
8	10000	114	5865
9	10000	115	5865
10	10000	116	5865
11	10000	117	5865
12	10000	118	5865
13	10000	119	5865
14	10000	120	5865
15	10000	121	5865
16	10000	122	5865
17	10000	123	5865
18	10000	124	5865
19	10000	125	5865
20	10000	126	5865
21	12465	127	5841
22	10000	128	7042
23	10000	129	7042
24	10125	130	7042
25	10000	131	7042
26	10000	132	6864
27	10000	133	5865
28	10000	134	5865
29	10125	135	5865
30	10028	136	5865
31	11416	137	5865
32	10000	138	5865
33	10000	139	5865
34	10000	140	5865
35	11116	141	5865
36	10000	142	5865
37	10000	143	5865
38	10000	144	6199
39	10000	145	5865
40	11116	146	5865
41	10000	147	7042
42	11491	148	7042
43	10112	149	7042
44	10000	150	7042
45	10000	151	7042
46	10000	152	7042
47	10000	153	7042
48	10000	154	6799
49	10000	155	5865
50	10125	156	5865
51	10455	157	5865
52	10000	158	5865
53	10000	159	5865
54	10000	160	5865
55	10503	161	5865
56	11426	162	5865
57	10000	163	5865
58	10945	164	5865
59	11250	165	5865
60	12726	166	5865
61	10000	167	5865
62	10000	168	5865
63	10000	169	5865
64	11116	170	5865
65	10000	171	5865
66	10000	172	5865
67	10000	173	5865
68	10676	174	5865
69	10787	175	5865
70	10119	176	5865
71	10000	177	5865
72	10000	178	5865
73	10000	179	5865
74	10000	180	5865
75	10000	181	5865
76	10729	182	5865
77	11487	183	5865
78	11116	184	5865
79	11384	185	5865
80	10272	186	5865
81	10000	187	5901
82	11250	188	5865
83	12022	189	5865
84	10000	190	5865
85	10000	191	5865
86	10000	192	5865
87	10000	193	5865
88	10000	194	5865
89	10000	195	5865
90	10000	196	5865
91	10000	197	5865
92	10000	198	5865
93	11116	199	5865
94	10000	200	5937
95	10000	201	5937
96	10000	202	5937
97	10000	203	5865
98	10000	204	5865
99	10000	205	5865
100	10893	206	4565
101	12306		
102	10000		
103	10000		
104	10000		
105	11098		
106	14565		
<b>TOTAL</b>	<b>1,102,176</b>	<b>TOTAL</b>	<b>807,611</b>

SEE SHEET 5 (PHASING PLAN) FOR OPEN SPACE AREAS AND CALCULATIONS.

LINE	BEARING	DISTANCE
L1	S 78°34'02" W	21.67'
L2	N 21°57'38" E	78.04'
L3	S 68°06'37" E	56.00'
L4	N 43°47'41" W	67.13'
L5	W 43°29'54" W	26.93'
L6	N 45°14'33" W	39.05'
L7	N 66°06'23" W	137.19'
L8	N 54°23'23" W	110.37'
L9	N 50°33'02" W	14.05'
L10	N 77°01'16" W	25.17'
L11	N 35°13'01" W	18.60'
L12	W 89°45'25" W	18.95'
L13	S 04°31'06" E	23.30'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	6°24'48"	1092.96'	122.89'	61.91'	122.82'	N 29°10'01" W
C2	31°29'00"	551.84'	303.23'	155.55'	289.43'	N 06°13'08" W
C3	2°20'16"	2813.23'	114.79'	57.40'	114.78'	N 10°41'30" E

TIM FALLON LAND SURVEYING, PLLC  
 15139 CARROLLTON BLVD,  
 SUITE C, P.O. BOX 189  
 CARROLLTON, VIRGINIA, 23314

22255  
 DWG: 22255 PRELIMINARY PLAT.dwg  
 DATE: 09-23-2024  
 SCALE: 1"=125'  
 SHEET NUMBER  
 3 OF 5

LOT DIMENSIONS AND AREA TABLES FOR TILLMAN RUN SUFFOLK, VIRGINIA TAX MAP #S 34\*26, 33\*48, 33\*48A, AND 33\*49

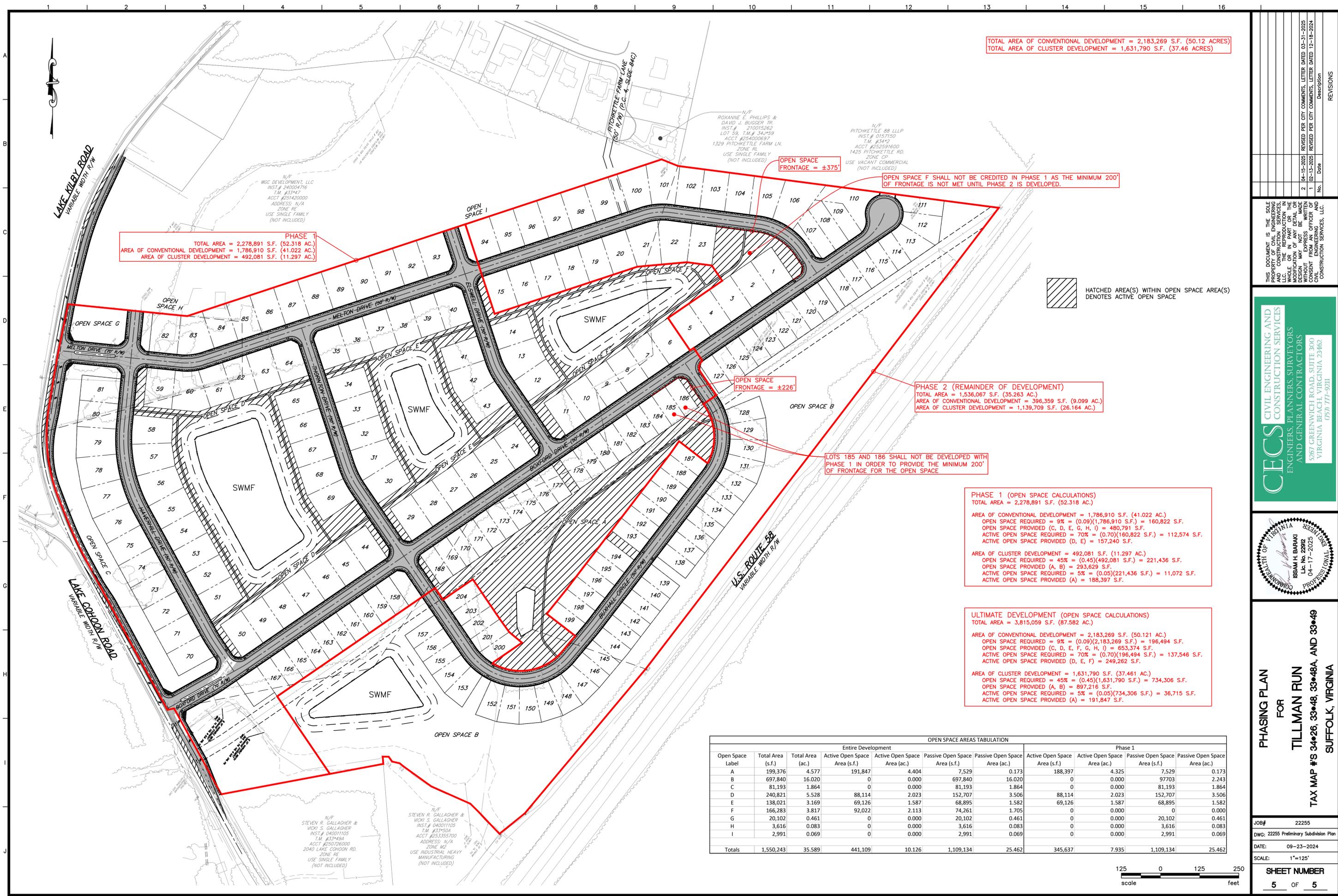
CECS CIVIL ENGINEERING AND CONSTRUCTION SERVICES ENGINEERS, PLANNERS, SURVEYORS AND GENERAL CONTRACTORS 5267 GREENWICH ROAD, SUITE 300 VIRGINIA BEACH, VIRGINIA 23462 (757) 717-9211

COMMONWEALTH OF VIRGINIA  
 PRELIMINARY  
 LAND SURVEYOR  
 TIMOTHY A. HARRIS

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No.	Date	Description
1	02-13-2025	REVISED PER CITY COMMENTS, LETTER DATED 12-18-2024
2	04-15-2025	REVISED PER CITY COMMENTS, LETTER DATED 03-31-2025





TOTAL AREA OF CONVENTIONAL DEVELOPMENT = 2,183,269 S.F. (50.12 ACRES)  
 TOTAL AREA OF CLUSTER DEVELOPMENT = 1,631,790 S.F. (37.46 ACRES)

PHASE 1  
 TOTAL AREA = 2,278,891 S.F. (52.318 AC.)  
 AREA OF CONVENTIONAL DEVELOPMENT = 1,786,910 S.F. (41.022 AC.)  
 AREA OF CLUSTER DEVELOPMENT = 492,081 S.F. (11.297 AC.)

OPEN SPACE FRONTAGE = ±375'

OPEN SPACE F SHALL NOT BE CREDITED IN PHASE 1 AS THE MINIMUM 200' OF FRONTAGE IS NOT MET UNTIL PHASE 2 IS DEVELOPED.

OPEN SPACE FRONTAGE = ±226'

PHASE 2 (REMAINDER OF DEVELOPMENT)  
 TOTAL AREA = 1,538,067 S.F. (35.263 AC.)  
 AREA OF CONVENTIONAL DEVELOPMENT = 396,359 S.F. (9.099 AC.)  
 AREA OF CLUSTER DEVELOPMENT = 1,139,709 S.F. (26.164 AC.)

LOTS 185 AND 186 SHALL NOT BE DEVELOPED WITH PHASE 1 IN ORDER TO PROVIDE THE MINIMUM 200' OF FRONTAGE FOR THE OPEN SPACE

PHASE 1 (OPEN SPACE CALCULATIONS)  
 TOTAL AREA = 2,278,891 S.F. (52.318 AC.)  
 AREA OF CONVENTIONAL DEVELOPMENT = 1,786,910 S.F. (41.022 AC.)  
 OPEN SPACE REQUIRED = 9% = (0.09)(1,786,910 S.F.) = 160,822 S.F.  
 OPEN SPACE PROVIDED (C, D, E, G, H, I) = 480,791 S.F.  
 ACTIVE OPEN SPACE REQUIRED = 70% = (0.70)(160,822 S.F.) = 112,574 S.F.  
 ACTIVE OPEN SPACE PROVIDED (D, E) = 157,240 S.F.  
 AREA OF CLUSTER DEVELOPMENT = 492,081 S.F. (11.297 AC.)  
 OPEN SPACE REQUIRED = 45% = (0.45)(492,081 S.F.) = 221,436 S.F.  
 OPEN SPACE PROVIDED (A, B) = 293,629 S.F.  
 ACTIVE OPEN SPACE REQUIRED = 5% = (0.05)(221,436 S.F.) = 11,072 S.F.  
 ACTIVE OPEN SPACE PROVIDED (A) = 188,397 S.F.

ULTIMATE DEVELOPMENT (OPEN SPACE CALCULATIONS)  
 TOTAL AREA = 3,815,059 S.F. (87.582 AC.)  
 AREA OF CONVENTIONAL DEVELOPMENT = 2,183,269 S.F. (50.121 AC.)  
 OPEN SPACE REQUIRED = 9% = (0.09)(2,183,269 S.F.) = 196,494 S.F.  
 OPEN SPACE PROVIDED (C, D, E, F, G, H, I) = 653,374 S.F.  
 ACTIVE OPEN SPACE REQUIRED = 70% = (0.70)(196,494 S.F.) = 137,546 S.F.  
 ACTIVE OPEN SPACE PROVIDED (D, E, F) = 249,262 S.F.  
 AREA OF CLUSTER DEVELOPMENT = 1,631,790 S.F. (37.461 AC.)  
 OPEN SPACE REQUIRED = 45% = (0.45)(1,631,790 S.F.) = 734,306 S.F.  
 OPEN SPACE PROVIDED (A, B) = 897,216 S.F.  
 ACTIVE OPEN SPACE REQUIRED = 5% = (0.05)(734,306 S.F.) = 36,715 S.F.  
 ACTIVE OPEN SPACE PROVIDED (A) = 191,847 S.F.

HATCHED AREA(S) WITHIN OPEN SPACE AREA(S) DENOTES ACTIVE OPEN SPACE

Open Space Label	Entire Development						Phase 1			
	Total Area (s.f.)	Total Area (ac.)	Active Open Space Area (s.f.)	Active Open Space Area (ac.)	Passive Open Space Area (s.f.)	Passive Open Space Area (ac.)	Active Open Space Area (s.f.)	Active Open Space Area (ac.)	Passive Open Space Area (s.f.)	Passive Open Space Area (ac.)
A	199,376	4.577	191,847	4.404	7,529	0.173	188,397	4.325	7,529	0.173
B	697,840	16.020	0	0.000	697,840	16.020	0	0.000	97703	2.243
C	81,193	1.864	0	0.000	81,193	1.864	0	0.000	81,193	1.864
D	240,821	5.528	88,114	2.023	152,707	3.506	88,114	2.023	152,707	3.506
E	138,021	3.169	69,126	1.587	68,895	1.582	69,126	1.587	68,895	1.582
F	166,283	3.817	92,022	2.113	74,261	1.705	0	0.000	0	0.000
G	20,102	0.461	0	0.000	20,102	0.461	0	0.000	20,102	0.461
H	3,616	0.083	0	0.000	3,616	0.083	0	0.000	3,616	0.083
I	2,991	0.069	0	0.000	2,991	0.069	0	0.000	2,991	0.069
Totals	1,550,243	35.589	441,109	10.126	1,109,134	25.462	345,637	7.935	1,109,134	25.462



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REVISED PER CITY COMMENTS, LETTER DATED 03-31-2025  
 REVISED PER CITY COMMENTS, LETTER DATED 12-18-2024

NO. 1  
 DATE 04-17-2025

CIVIL ENGINEERING AND CONSTRUCTION SERVICES, LLC  
 ENGINEERS, PLANNERS, SURVEYORS AND GENERAL CONTRACTORS  
 5267 GREENWICH ROAD, SUITE 300  
 VIRGINIA BEACH, VIRGINIA 23462  
 (757) 717-9211

PHASING PLAN FOR TILLMAN RUN  
 TAX MAP #S 34\*26, 33\*48, 33\*48A, AND 33\*49  
 SUFFOLK, VIRGINIA

JOB# 22255  
 DWG: 22255 Preliminary Subdivision Plan  
 DATE: 09-23-2024  
 SCALE: 1"=125'

SHEET NUMBER 5 OF 5